

# HERITAGE IMPACT ASSESSMENT



TRINITY CHURCH, 10 TRINITY CHURCH ROAD  
CITY OF HAMILTON

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## EXECUTIVE SUMMARY

Megan Hobson consulting was retained by the owner of two adjacent properties at 4 & 10 Trinity Church Road to prepare a preliminary Heritage Impact Assessment (HIA) as part of a re-zoning application to allow the former church at 10 Trinity Church Road to be adaptively re-used as a restaurant. Preliminary discussions were held on site with DPAI Architecture Inc. and T. Johns Consulting Group to confirm that the proposed use could be accommodated within the existing building envelope with minor changes to the interior, and that parking and vehicular access could be accommodated on the adjacent property with no impact to the municipal cemetery grounds that wrap around the sides and back of the church. Based on these discussions, it was determined that this could be achieved. There is an existing kitchen in the basement that can accommodate the restaurant kitchen with minor changes and the large open space in the Sanctuary can easily accommodate a hostess station, dining area, and bar for the restaurant. The church has a full basement level that can be renovated for storage, staff areas, and additional washrooms.

The rehabilitation of this vacant church for use as a restaurant will have an overall positive impact because the building will continue to be used and maintained. The intent is to preserve heritage attributes as a feature of the restaurant and make minor alterations that are compatible with the existing character of the building.

Therefore, it is recommended that this application be supported with the following conditions

1. that the applicant provides an *Addendum* to this *Heritage Impact Assessment* that includes detailed architectural and structural drawings for the proposed changes, to the satisfaction of heritage planning staff, prior to the issue of any building permits
2. that the applicant provide further information regarding the salvage and on-site re-purposing of the Gothic window that will be removed from the North elevation
3. that the applicant provide a *Conservation Plan* that includes structural drawings and masonry specifications for changes to the north elevation associated with the elevator addition.

The final drawings should reflect the following mitigation:

- preservation on site of the Gothic window that will be removed from the first bay of the north side elevation for the elevator addition. Further details should be provided to heritage staff about its removal and re-purposing as an interior feature.
- preservation in situ of the Gothic brick arch and brick mould in the first bay of the north side elevation where the elevator addition will be built
- preservation in situ of the Gothic plaster arch in the interior where a partition wall is being built for the private dining area in the Sanctuary

## 1.0 INTRODUCTION

Preparation of this report included site investigation, a review of relevant heritage policies and applicable legislation, and a review of existing historical information about the subject property and its cultural context. Site investigation included meetings on site with DPAI Architecture Inc. to provide input on an architectural design that would meet the program needs and have the least impact on heritage attributes. It was determined that impacts associated with the kitchen and washrooms requirements would be limited to the basement level. The Sanctuary is one large open space with moveable pews that can easily accommodate the restaurant bar and seating. The intent is to preserve and showcase the heritage attributes of the building as a feature of the restaurant.

## 2.0 LOCATION & SITE DESCRIPTION

The subject property is located on the west side of Trinity Church Road at 10 Trinity Church Road. The property to the south at 4 Trinity Church Road is an empty parking lot located at the intersection of Trinity Church Road and Rymal Road East. Both properties are owned by the applicant. The cemetery historically associated with the church is now owned and maintained by the City of Hamilton cemeteries department as a separate parcel that wraps around the church on the north, west and south sides of the building. The church is oriented towards Trinity Church Road and is built close to the road edge. There is a commercial plaza located across the street with a gas station and a number of retail outlets.



TRINITY CHURCH, 10 Trinity Church Road

The subject building constructed of brick with a raised stone foundation. It has a rectangular form and steeply pitched gable roof and a covered entrance portico on the main elevation. The building is oriented east west, with the front entrance at the east end, oriented towards Trinity Church Road. There is modern accessibility ramp at the front entrance that is constructed of concrete with metal railings.

There is a one-storey brick addition at the southeast corner of the building that contains washrooms and stairs down to the basement level. Based on the style and materials used, the addition appears to date from the mid-20<sup>th</sup> century.

### 3.0 HERITAGE PLANNING CONTEXT

The subject property is an 'Inventoried' heritage building that is included in *Hamilton's Heritage Volume 7A: Inventory of Places of Worship* (2007). It is identified as a representative example of an Early Gothic Revival style parish church, that combines the simple rectangular massing of Georgian buildings with the Gothic elements such as large Gothic windows, hood moulds, buttresses, and steeply pitched roofs. This typology was used widely in Ontario for rural churches c.1840s to 1870s. Trinity United Church was built in 1874 and is a late example of this type of Church. It has a rectangular plan, 3 bays by 4 bays, with an entrance porch on the main elevation that enters directly into the sanctuary. The sanctuary is one open space with no columns or aisles.

The cemetery formerly associated with Trinity Church has been a municipal cemetery since 1971 and remains an active cemetery known as Trinity Cemetery. Trinity Cemetery is an 'Inventoried' heritage property that is included in *Hamilton's Heritage Volume 6: Inventory of Cemeteries and Burial Grounds* (2005).



HERITAGE MAP      AERIAL PHOTO      TRINITY CHURCH & TRINITY CEMETERY

Trinity Church and Trinity Cemetery are inventoried heritage properties.

### 4.0 HISTORIC CONTEXT

#### Trinity Church, 10 Trinity Church Road

Historically, Trinity Church is located in CON 1, LOT 16 in Glanford Township, an area that is now within the City of Hamilton. It is located about 1 mile east of the historic village of Glanford. The 1859 SURTEES MAP indicates that Lot 16 was owned by John BIERE and there was a schoolhouse in the northeast corner of the lot. This was most likely a log or frame structure. In the early settlement period in rural townships, these structures often served as temporary places of worship until funds could be raised to build a church. It is likely that this was the frame church associated with the congregation since 1848. This building was replaced by the current brick building in 1874.

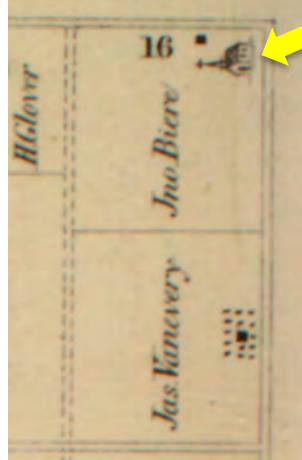
The 1878 WENTWORTH COUNTY ATLAS MAP shows that the earlier log or frame schoolhouse has been replaced by a church. The building shown on the 1877 MAP is the subject building. There is a date stone on the front elevation of the church that confirms that it was built in 1874 as a Methodist Episcopal Church. There is a second plaque affixed to the building below the first floor window with two dates that are significant for the Methodist Episcopal congregation; '1848' the date of construction of the 1<sup>st</sup> frame church (demolished) and '1874' the date of construction of the extant



brick church (the subject building). It is not known when this plaque was installed but it was likely in the 20<sup>th</sup> century and was made to match the historic date stone above.



1859 SURTEES MAP  
Frame schoolhouse (demolished)



1878 COUNTY ATLAS MAP  
Brick church (subject building)

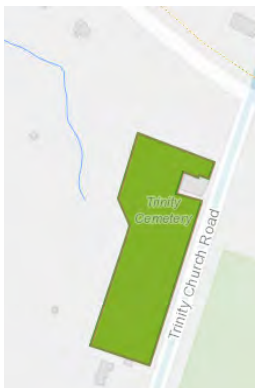


1878 DATE STONE  
'M.E. CHURCH A.D. 1874'

### Trinity Cemetery, 12 Trinity Church Road

The cemetery that is historically associated with Trinity Church is adjacent to the subject property and is an active municipally owned cemetery called Trinity Cemetery. The cemetery predates the brick church building and was originally established in 1819 by the Stewart family as a family burial ground. The cemetery has approximately 400 grave markers including a number belonging to the Stewart family with original gravestones from the early 19<sup>th</sup> century. John Stewart was buried here in 1836.

In 1845, William Stewart, the son of John Stewart, sold a ½-acre to a group of Episcopal Methodists for a cemetery and church. The Stewarts were Episcopalian Methodists. The first church completed in 1848 was a small frame building. In 1850, the congregation was able to purchase another ½-acre to expand the cemetery grounds. In 1874, the wooden church was replaced by the current brick church.



CEMETERY GROUNDS



CEMETERY ENTRANCE

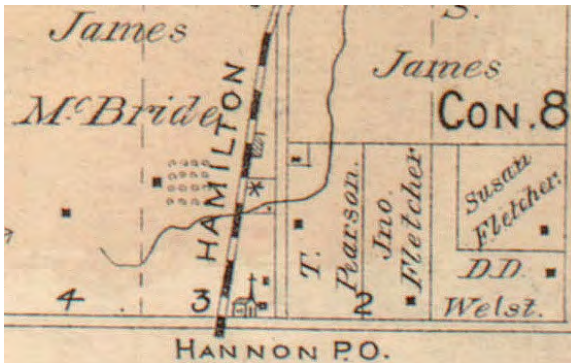


GRAVESTONE William Stewart

Trinity Cemetery, 12 Trinity Church Road – an active Municipal Cemetery adjacent to the subject property

## 20<sup>th</sup> Century

In 1925, the Methodist congregation joined the United Church of Canada, and the church was renamed Trinity United Church, Hannon.<sup>1</sup> In 1971, the congregation requested that the City take over the care and maintenance of the cemetery. In 2020 the church closed. The former Village of Hannon and surrounding area is an area in transition with major transit upgrades ongoing and new development occurring on former agricultural lands. The cemetery remains active as a municipally owned cemetery called Trinity Cemetery.



1877 MAP - HANNON POST OFFICE at the intersection of what is now Rymal Road East & Dartnell Road in the City of Hamilton – Hannon and surrounding area is an area that is currently in transition due to urban expansion into former agricultural lands



CURRENT CONTEXT – Trinity Church seen from the gas station in the commercial plaza across the street

<sup>1</sup> United Church of Canada, *Fonds F1202 – Trinity United Church (Hannon, Ont.) fonds, 1849-1991*. Contents: 50 cm textual records, 1 photograph

## 5.0 CULTURAL HERITAGE VALUE

### 5.1 EVALUATION ACCORDING TO ONTARIO REGULATION 09/06

CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
<b>1. Design of physical value:</b>		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	<u>YES</u>	It was constructed in 1873 and is a good example of a Protestant church in rural Ontario, that combines Georgian, Gothic Revival and Italianate influences.
ii) Displays a high degree of craftsmanship or artistic merit	<u>YES</u>	It displays a high degree of craftsmanship within the context of a rural township in Wentworth County.
iii) Demonstrates a high degree of technical or scientific achievement	NO	The technical achievement is typical of churches in the period of construction.
<b>2. Historical or associative value</b>		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	<u>YES</u>	It has direct associations with; <ul style="list-style-type: none"> <li>• 1848-1925: Episcopalian Methodists / Methodist Church of Canada</li> <li>• 1925-2020: United Church of Canada</li> </ul>
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	NO	The church records are held by the United Church of Canada and the church was decommissioned in 2020.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	NO	It is not thought to be associated with an architect. It was likely built by a local builder whose identify is unknown.
<b>3. Contextual Value</b>		
i) Is important in defining, maintaining, or supporting the character of an area	NO	The former rural character of the area has been heavily impacted by urbanization in the 20 <sup>th</sup> -c.
ii) Is physically, functionally, visually, or historically linked to its surroundings	<u>YES</u>	It is historically linked to the historic village of Glanford and to Trinity Cemetery that wraps around the sides and back of the church.
iii) Is a landmark	<u>YES</u>	It is a highly visible building located on a busy road that is named after the building (Trinity Church Road) and is adjacent to a municipal cemetery that has the same name (Trinity Cemetery).

Evaluation summary: it meets 5 out of 9 criteria for Designation under the *Ontario Heritage Act*



## 5.2 EVALUATION ACCORDING TO THE CITY OF HAMILTON'S CULTURAL HERITAGE VALUE CRITERIA

CRITERIA	ASSESSMENT
<b>Historical Associations</b>	
1. <u>Thematic</u> : how well does the feature or property illustrate a historical theme that is representative of significant patterns of history in the context of the community, province or nation?	<u>Meets criteria</u> The church illustrates the importance of the Methodist and United Church in rural Ontario in the 19 <sup>th</sup> & 20 <sup>th</sup> centuries.
2. <u>Event</u> : is the property associated with a specific event that has made a significant contribution to the community, province or nation?	<u>Does not meet criteria</u> It is not associated with a specific event. It is associated with religious worship and community service from 1848-2020.
3. <u>Person and/or Group</u> : is the feature associated with the life or activities of a person or group that has made a significant contribution to the community, province or nation?	<u>Meets criteria</u> It is associated with the Episcopalian Methodists / Methodist Church of Canada from 1848 to 1925, and the United Church of Canada from 1925 to 2020.
<b>Architecture and Design</b>	
4. <u>Architectural merit</u> : what is the architectural value of the resource?	<u>Meets criteria</u> It is a good example of a typology that evolved for rural Protestant Churches in Ontario in the 19 <sup>th</sup> century that combine Georgian, Gothic Revival and Italianate influences. It is constructed of brick with a raised stone foundation and has a simple, symmetrical rectangular form with large windows, a gable roof and an open interior. The Sanctuary features pointed Gothic windows with coloured glass, and one commemorative stained-glass window. Brick detailing on the exterior includes Gothic hood moulds above the windows, raised piers between the window bays, and decorative corbelling in the gable. The windows have cut stone sills and the foundation is randomly coursed limestone.
5. <u>Functional merit</u> : what is the functional quality of the resource?	<u>Does not meet criteria</u> The design reflects the functional requirements of the faith group associated with it and was a standardized design for a small parish church. It is not considered to be a building with significant functional merit.
6. <u>Designer</u> : what is the significance of this structure as an illustration of the work of an important designer?	<u>Does not meet criteria</u> The building is not associated with a particular designer or builder. It is representative of a typology associated with 19 <sup>th</sup> century Methodist Churches in Ontario.
<b>Integrity</b>	

7. <i>Location integrity: is the structure in its original location?</i>	<a href="#">Meets criteria</a> Yes, the church is in its original location. The associated cemetery adjacent to the church is under different ownership.
8. <i>Built integrity: is the structure and its components parts all there?</i>	<a href="#">Meets criteria</a> The building has a high degree of integrity. Alterations include a small one-storey addition at the northeast corner and an accessibility ramp for the front entrance.
<b>Environmental Context</b>	
9. <i>Landmark: is it a visually conspicuous feature in the area?</i>	<a href="#">Meets criteria</a> It is located on a corner and backs onto a cemetery and natural area. It is built close to the street edge and is therefore highly visible. It is located on 'Trinity Church Road'.
10. <i>Character: what is the influence of the structure on the present character of the area?</i>	<a href="#">Meets criteria</a> The area has changed significantly due to later 20 <sup>th</sup> century development and road widening. The church and cemetery are the only historic features that remain at this intersection.
11. <i>Setting: what is the integrity of the historical relationship between the structure and its immediate surroundings?</i>	<a href="#">Meets criteria in a limited way</a> The structure backs onto a Pioneer cemetery and natural area that retain the integrity of its original setting to the west and south. The adjacent parking lot to the north and the commercial plaza across the street have changed relationships to the north and east.
<b>Social Value</b>	
12. <i>Public perception: is the property or feature regarded as important within its area?</i>	<a href="#">Meets criteria</a> The church has been deconsecrated due to its dwindling congregation. It has symbolic importance as a former Place of Worship for many people who still live in the community.

Evaluation summary: Former Trinity Church meets 9 out of 12 criteria

### 5.3 STATEMENT OF CULTURAL HERITAGE VALUE

#### Statement of Cultural Heritage Value

Trinity Church was built by a Methodist Episcopal congregation in 1874 to replace an earlier frame church constructed in 1848. In 1925, the Methodist congregation joined the United Church of Canada and from 1925 until its closure in 2020 it was known as Trinity United Church, Hannon. The cemetery associated with the church that predates the current building on the site has been maintained as a municipal cemetery since 1971 and remains an active cemetery known as Trinity Cemetery.

Trinity Church is a vernacular Gothic Revival style church building constructed of brick with a rectangular form and steeply pitched gable roof. It is a late example of a Gothic Revival style parish church, that combines the simple rectangular massing of Georgian buildings with Gothic elements

such as pointed arches, large stained-glass windows, buttresses, and steeply pitched roofs. This typology was used widely in Ontario for rural churches c.1840s to 1870s. Trinity United Church was built in 1873 and is therefore a late example of this type of Church and has Italianate influences including the raised brick corbelling and oculus window in the front gable. It has a rectangular plan with an entrance porch on the main elevation that enters directly into the sanctuary. The sanctuary is one open space from floor to ceiling with no supporting columns or side aisles. There are large windows on all elevations with coloured glass and one memorial stained-glass window on the west elevation. It has a full basement below the Sanctuary that contains a kitchen and church hall.

#### Heritage Attributes:

The heritage attributes are attributes that contribute to the vernacular Gothic Revival Style of the 1874 church building and include the following:

#### Context:

- its location on Trinity Church Road
- Its proximity to Trinity Church Cemetery

#### Exterior:

- the 3 x 4-bay rectangular form of the church building, with a steeply pitched gable roof and covered entrance porch with a steeply pitched gable roof
- the exterior masonry walls constructed of multi-wythe brick with shallow brick buttresses, and randomly coursed raised stone foundation
- the canted cut stone window sills, the raised brick Gothic hood moulds, and the raised brick corbels on the main elevation
- the date stone on the front elevation inscribed 'M.E. Church A.D. 1874'
- the stone plaque affixed to the front elevation inscribed 'M.E. Church A.D. 1848 & 1874'
- the pointed arched Gothic windows on the front and side elevations with coloured glass
- the pointed arched Gothic window on the rear elevation with a stained-glass memorial window dedicated to 'Pilot Officer Robert Cecil Fletcher, d. Mar 31, 1945, Hamburg, Germany'
- the round window in the gable on the front and rear elevations
- the pairs of scrolled wood brackets below the eaves of the church and entrance porch

#### Interior (Sanctuary):

- wood window and door trim
- decorative plaster cornice
- pointed Gothic frame and pilasters on the west wall of the Sanctuary

## 6.0 PROPOSED ALTERATION

The church is well maintained and until recently, has been in use by the congregation that left in 2020. It is currently secured and monitored by the owner and the services remain connected. It is situated on a busy road and the cemetery next door is a municipal cemetery that is maintained by the City of Hamilton. The building appears to be in very good condition. No significant condition issues were noted during the site investigation, based on a visual inspection.

The applicant is proposing an adaptive-reuse of the church for use as a restaurant. The proposed use can be accommodated within the existing building envelope and there will be no new construction outside of the existing building footprint. Exterior alterations are limited to an external elevator shaft

that will be installed on the north side elevation, in the same location as the existing one-storey addition.

Minor interior alterations will be made to the Sanctuary to accommodate a hostess station, bar, and restaurant seating. The existing stairs to the lower level that are located in the southeast corner of the Sanctuary will be removed and a new staircase will be built in the northeast corner. The existing kitchen in the basement will be enlarged and new washrooms, including one Universal washroom, will be installed. The elevator will service the lower level and the main level so that both levels are fully accessible. Openings through the exterior masonry wall for the elevator doors will utilize existing window openings in those locations.

Restaurant use is not permitted under the current zoning for the property, so a re-zoning application has been submitted. If the zoning change is permitted, more detailed plans will be developed and an Addendum to this report will be provided at that time.



RESTAURANT CONVERSION



RESTAURANT PARKING FOR 35 VEHICLES



RESTAURANT DINING



RESTAURANT KITCHEN

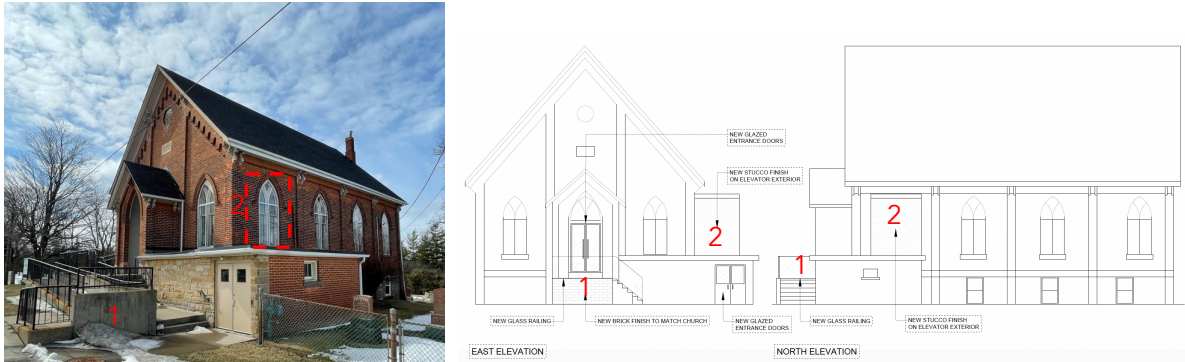
## 7.0 HERITAGE IMPACT ASSESSMENT

Rehabilitation of this vacant church for use as a restaurant will have an overall positive impact because the building will continue to be used and maintained. The intent is to preserve heritage attributes as



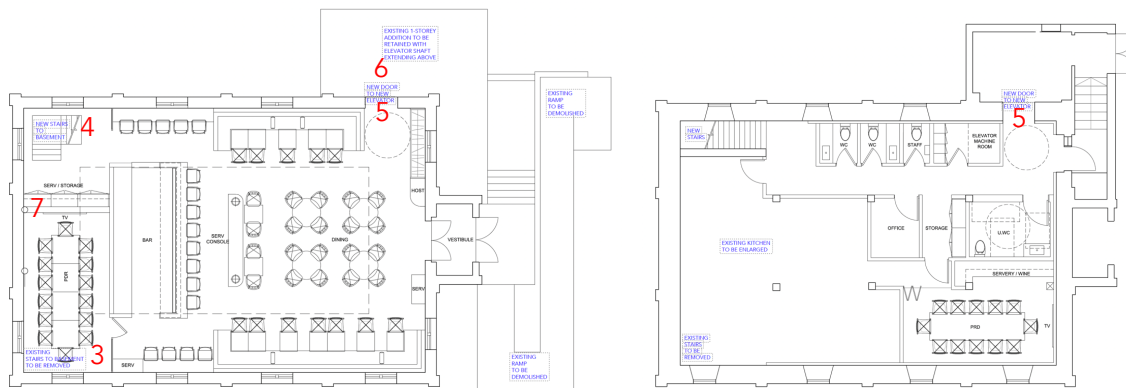
a feature of the restaurant and make minor alterations that are compatible with the existing character of the building.

Heritage attributes have been identified and careful consideration has been given to the impact of new interventions associated with the change in use from a place of worship to a restaurant. Since a place of worship is already a place for congregate gatherings and the church already has a functioning kitchen and dining hall in the basement, the proposed use is considered to be a compatible use.

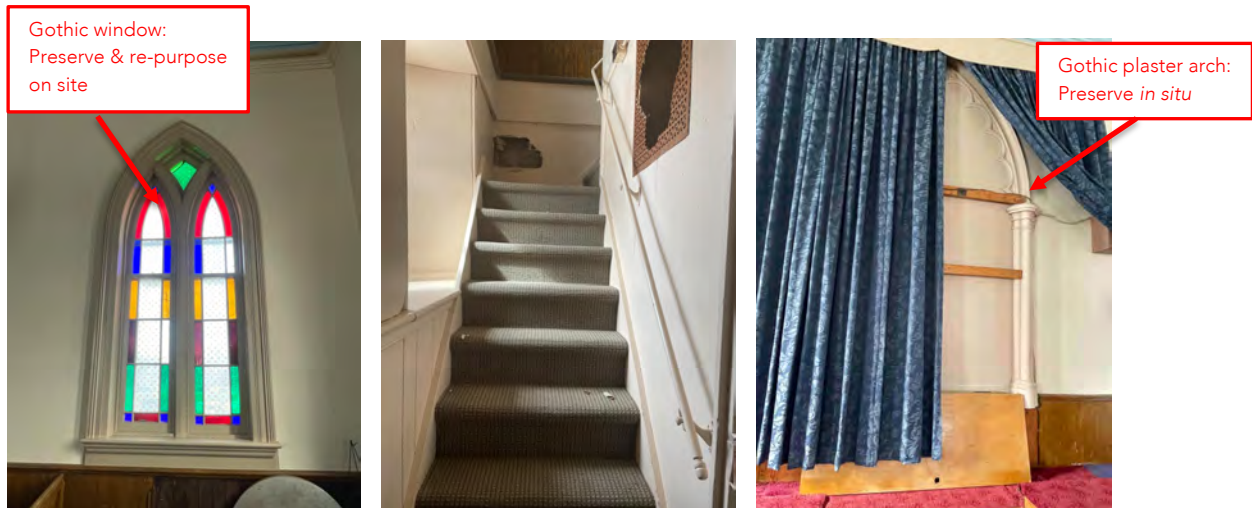


EXTERNAL ELEVATOR ADDITION – 1. Removal of an unsympathetic concrete wheelchair ramp in front of the building.

2. Installation of new elevator on the north side elevation in the same location as the existing one-storey addition



INTERIOR LAYOUT – main floor (left) and basement (right) 3. Removal of an existing staircase. 4. Introduction of a new staircase to suit the proposed layout. 5. Two existing windows to be enlarged for doors to the new elevator. 6. New elevator shaft to be installed within the footprint of an existing one-storey addition. 7. A new partition wall will partially cover an interior heritage feature



IMPACTED AREAS – **Left:** one Gothic window that is a heritage attribute will be removed where the new external elevator shaft will be attached (no. 5 above) – **Middle:** the existing stairs to the basement that will be removed are not considered to be a heritage attribute (no. 3 above) – **Right:** the Gothic frame for the altar that is a heritage attribute will be partially covered by a new partition wall (no.7 above)



ELEVATOR ADDITION ON NORTH ELEVATION – two existing window openings will be utilized for access to the proposed elevator that will extend above the existing one-storey addition. (no. 5 above)

## 7.1 ONTARIO HERITAGE TOOLKIT

The Ministry of Culture provides guidance and information regarding cultural heritage and archaeological resource conservation in land use planning in the *Ontario Heritage Toolkit* (2006).

## 7.2 IDENTIFIED IMPACTS

Negative impacts to a cultural heritage resource that may occur due to a proposed development or site alteration are identified in the *Ontario Heritage Toolkit*. Impacts are assessed in Table 1.0 below.

Table 1.0 Impact Assessment

NEGATIVE IMPACTS <i>Ontario Heritage Toolkit (2006)</i>	IMPACT ASSESSMENT	RECOMMENDATION
<b>Destruction</b> of any part, or part of any, significant heritage attributes or features	One Gothic window on the north elevation will be removed.	Salvage of the Gothic window and re-purposing on site as an interior feature is recommended.  Due to the limited amount of salvage, a full <i>Documentation &amp; Salvage Plan</i> is <u>not</u> required, however salvage should be undertaken by an experienced architectural salvager and further details regarding the salvage and re-purposing of this element should be provided to heritage staff.
<b>Alteration</b> that is not sympathetic, or is incompatible, with the historic fabric and appearance	Alterations will be made to the north exterior wall of the Church to accommodate a 2-storey elevator shaft that will extend above the existing 1-storey addition. Two existing window openings on the north elevation will be enlarged for the elevator doors.	A <i>Conservation Plan</i> containing detailed structural drawings and masonry specifications for changes to the north side elevation is recommended.  Masonry work should be carried out by an experienced heritage mason and should be consistent with the City of Hamilton's <i>Masonry Restoration Guidelines</i>
<b>Shadows</b> created that alter the appearance of a heritage attribute or change the viability of a natural feature, or plantings, such as a garden	n/a	-
<b>Isolation</b> of a heritage attribute from its surrounding environment, context or significant relationship	n/a	-
Direct or indirect <b>obstruction of significant views or vistas</b> within, from, or of built and natural features;	n/a	-
A <b>change in land use</b> such as rezoning a battlefield from open space to residential use, allowing new development or	The proposed re-zoning to permit restaurant use is compatible with conservation of the heritage building through adaptive	Re-zoning to allow a wider range of uses is recommended

site alteration to fill in the formerly open spaces	reuse and can support a number of compatible uses.	
<b>Land disturbances</b> such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource	n/a	-

Summary: impacts to heritage attributes are minor and are limited to removal of one Gothic window on the north side elevation, addition of an external elevator shaft on the north side elevation where there is an existing addition, removal of an un-sympathetic concrete wheelchair ramp at the front entrance, and interior renovations.

### 7.3 MITIGATION MEASURES

Methods for minimizing or avoiding a negative impact on a cultural heritage resource include, but are not limited to:

**Table 2.0 Mitigation Strategies**

MITIGATION STRATEGIES <i>Ontario Heritage Toolkit (2006)</i>	MITIGATION MEASURES	RECOMMENDATION
<b>DIRECT IMPACTS</b>		
Alternative development approaches	Impacts on heritage attributes have been avoided, with the exception of one Gothic window on the north elevation that will be removed where the elevator shaft will be attached.	An alternative development approach is not necessary because the impacts are minor and negative impacts can be mitigated.
Isolating development and site alteration from significant built and natural features and vistas	n/a	-
Design guidelines that harmonized mass, setback, setting, and materials	Design measures have been successfully employed so that the proposed elevator shaft on the north side elevation will set back from the front façade, contained within the first bay of the side elevation, and not extend above the roofline so that it is not visually intrusive. Removal of the concrete ramp at the front entrance and changes to the existing front	The historic church is red brick with a limestone foundation. It has a later addition that is clad with red brick and limestone that was carefully matched to the historic church. A similar approach for the elevator addition is encouraged and it is recommended that the final material and colour choices be reviewed by heritage staff for final approval.



	stairs will enhance the main elevation.	
Limiting height and density	n/a	
Allowing only compatible infill and additions	The new elevator shaft will be introduced within the existing building footprint and will utilize two existing masonry openings to provide connection on the basement and first floor. The roof of the addition will be below the eaves of the church roof.	
Reversible alterations	The changes are minimal and are considered reversible.	<p>Salvage and on-site retention of one Gothic window has been recommended to allow for possible reinstatement in the future.</p> <p>It is recommended that the Gothic brick arch and brick hood mould above this window be preserved <i>in situ</i> and the enclosure for the elevator be built around it.</p> <p>It is recommended that the Gothic plaster arch in the interior be preserved <i>in situ</i> where a new partition wall is being built to create a private dining room in the Sanctuary.</p>
Buffer zones, site plan control, and other planning mechanisms	n/a	

Summary: The proposed interventions will have very minor impacts on heritage attributes and can be introduced in a sensitive way so that cultural heritage value is retained.

The following mitigation is recommended:

A *Conservation Plan* for alterations to the north side elevation, including structural drawings and masonry specifications

- review of final selection of cladding material and colour palette for the elevator shaft to ensure that its visual impact is reduced. Final review should be undertaken by heritage staff.
- preservation on site of the Gothic window that will be removed in the first bay of the north elevation for the elevator addition. Further details should be provided to heritage staff.

- preservation in situ of the Gothic brick arch and brick mould in the first bay of the north side elevation where the elevator addition will be built
- preservation in situ of the Gothic plaster arch in the interior where a partition wall is being built for the private dining area in the Sanctuary

## 8.0 CONCLUSIONS & RECOMMENDATIONS

Given the large number of surplus church buildings in Ontario a flexible approach to rehabilitation is often needed to prevent demolition of these buildings. The subject building is located on a busy road, does not have a driveway or parking lot, and is surrounded on three sides by a municipally owned cemetery. Therefore, there are significant constraints that may deter ongoing use of this building.

The current proposal to convert the building to a restaurant, with the adjacent property remaining under the same ownership so that it can accommodate parking, deliveries, and waste collection, provides a viable opportunity to rehabilitate this building so that it can remain in use. Sensitive rehabilitation to support a new and compatible use is a conservation strategy that will ensure a sustainable future for this built heritage resource. The intent is to accommodate the restaurant within the existing building footprint, with no impact on the building envelope or exterior heritage attributes. The general intent is to preserve the existing character of the building and its interior and to avoid or minimize impacts on heritage attributes.

Therefore, it is recommended that this application be supported with the following conditions

4. that the applicant provides an *Addendum* to this *Heritage Impact Assessment* that includes detailed architectural and structural drawings for the proposed changes, to the satisfaction of heritage planning staff, prior to the issue of any building permits
5. that the applicant provide further information regarding the salvage and on-site re-purposing of the Gothic window that will be removed from the North elevation
6. that the applicant provide a *Conservation Plan* that includes structural drawings and masonry specifications for changes to the north elevation associated with the elevator addition.

The final drawings should reflect the following mitigation:

- preservation on site of the Gothic window that will be removed from the first bay of the north side elevation for the elevator addition. Further details should be provided to heritage staff about its removal and re-purposing as an interior feature.
- preservation in situ of the Gothic brick arch and brick mould in the first bay of the north side elevation where the elevator addition will be built
- preservation in situ of the Gothic plaster arch in the interior where a partition wall is being built for the private dining area in the Sanctuary

## 9.0 SOURCES

City of Hamilton, *Hamilton's Heritage Volume 6; Inventory of Cemeteries* (2005), p. 109

-----, *Hamilton's Heritage Volume 7A; Inventory of Places of Worship* (2007), p. 84

Glanford Historical Society, *Glanford; Recollections and Reflections* (1985)

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit; Heritage Places of Worship, A Guide to Conserving Heritage Places of Worship in Ontario Communities*

-----, *Eight Guiding Principles in the Conservation of Built Heritage Properties*

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

## 10.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 10 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching architectural history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

## APPENDIX A: PHOTO DOCUMENTATION



FRONT ELEVATION – VIEW FROM TRINITY CHURCH ROAD



SOUTH ELEVATION AND CEMETERY ENTRANCE





RAISED STONE FOUNDATION



DATE STONES ON THE FRONT ELEVATION







FRONT ENTRANCE AND CONCRETE ACCESSIBILITY RAMP





DECORATIVE WOOD BRACKETS, BRICK CORBELLING, SHALLOW BRICK BUTTRESS, & RAISED BRICK HOOD MOULD





POINTED GOTHIC WINDOWS WITH A RAISED BRICK HOOD MOULD – PAIRED LANCET WINDOW WITH COLOURED GLASS – METAL FRAMED EXTERIOR STORMS INSTALLED





SOUTH EAST CORNER





WEST ELEVATION





NORTH ELEVATION



20<sup>TH</sup> CENTURY ADDITION – 1-STOREY WITH BRICK AND STONE CLADDING TO MATCH THE CHURCH





ADJACENT PARKING LOT AT 10 TRINITY CHURCH ROAD



VIEW LOOKING NORTH ON TRINITY CHURCH ROAD





SANCTUARY INTERIOR – looking east



SANCTUARY INTERIOR – looking west



FRONT DOORS





GOTHIC FRAME WHERE THE METHODIST ALTAR WOULD HAVE BEEN LOCATED



SANCTUARY WINDOW WITH COLOURED & ETCHED GLASS





MEMORIAL STAINED-GLASS WINDOW ON THE WEST ELEVATION with dedication to RCAF Pilot Officer Robert Cecil Fletcher, d. 1945.



DECORATIVE PLASTER CORNICE & PENDANT LIGHT FIXTURE



TONGUE & GROOVE WOOD FLOORING



STAIRS TO THE BASEMENT FROM THE SANCTUARY



BASEMENT



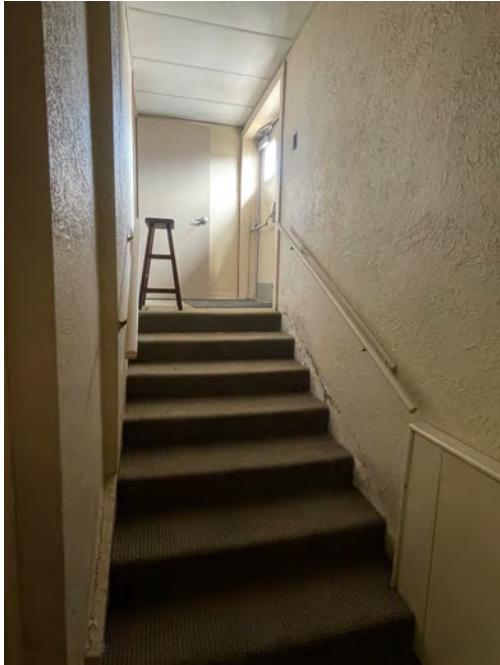


BASEMENT KITCHEN



BASEMENT KITCHEN





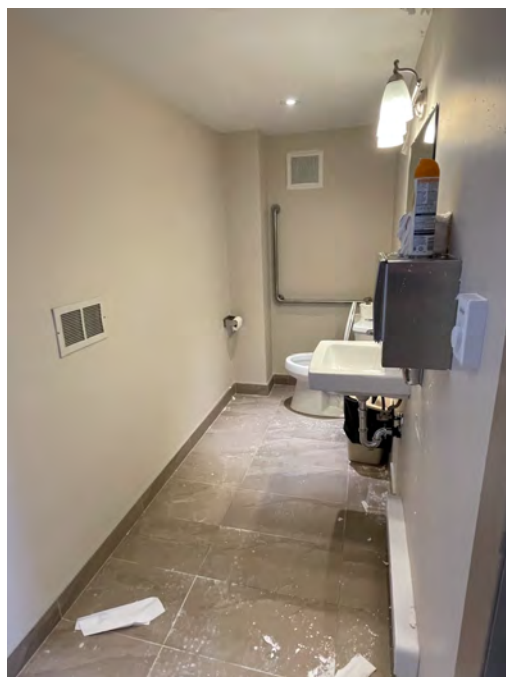
ADDITION - STAIRS FROM THE BASEMENT

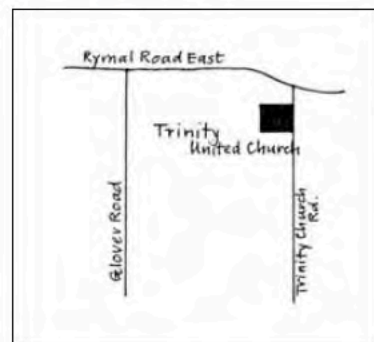


EXIT DOORS



ADDITION – 2 WASHROOMS INCLUDING ONE ACCESSIBLE WASHROOM



**Glanford****Trinity United Church****Address:** 10 Trinity Church Road**Legal Description:** Con 1 Blk Lot 16**Current Use:** Place of worship**Previous Building:** X**Current Affiliation:** United Church**Alternate/ Historical Name(s):****Historical Affiliation(s):** Methodist Episcopal**Associated Features:****Architect(s):****Builder:** E. Dickenson and Sons**Construction Date:** 1873      **Material:** brick      **Style:** Early Gothic Revival**Addition/Alteration 1:**      **Material:**      **Style:****Addition/Alteration 2:**      **Material:**      **Style:****Addition/Alteration 3:**      **Material:**      **Style:****Notable Architectural Features:****Heritage Status****City Inventory:****Designated:****By Law #:****Municipal Easement:****National Historic Site:****OHT Easement:****History:**

In 1845, a half-acre of land was purchased from Wm. Stewart on the northeast corner of Lot 16, Con. 1, Glanford. On December 26, 1848, the first wooden church structure was dedicated. In 1850, the trustees purchased a second half-acre from Mr. Stewart. At that time, Trinity was a member of the Barton Circuit, consisting of Trinity, Bartonville, Stoney Creek and Burkholder. In 1873, a contract was made for the erection of a new brick church. The builders were Edward Dickenson and Sons of North Glanford. They used 61,000 bricks from their own brickyard, located on the southeast corner of Twenty Road and Hwy. 6. Total cost of the church was \$1,646.

In August, 1884, after the union of Methodist churches in Canada, Barton Circuit consisted of Trinity, Clinesville, (now Elfrida) and Burkholder. In 1889, Trinity became part of the Binbrook Circuit, including Hall's Corners, Elfrida and Fisher's, now Blackheath. When the United Church came into being in 1925, Trinity became associated with Barton Stone Church in Barton Township. From 1951 to 1961, Trinity was a one point charge. In 1951, a manse was constructed on land just north of the church.

In 1971, the care of the surrounding cemetery was taken over by the Hamilton Cemetery Board at the request of the congregation.

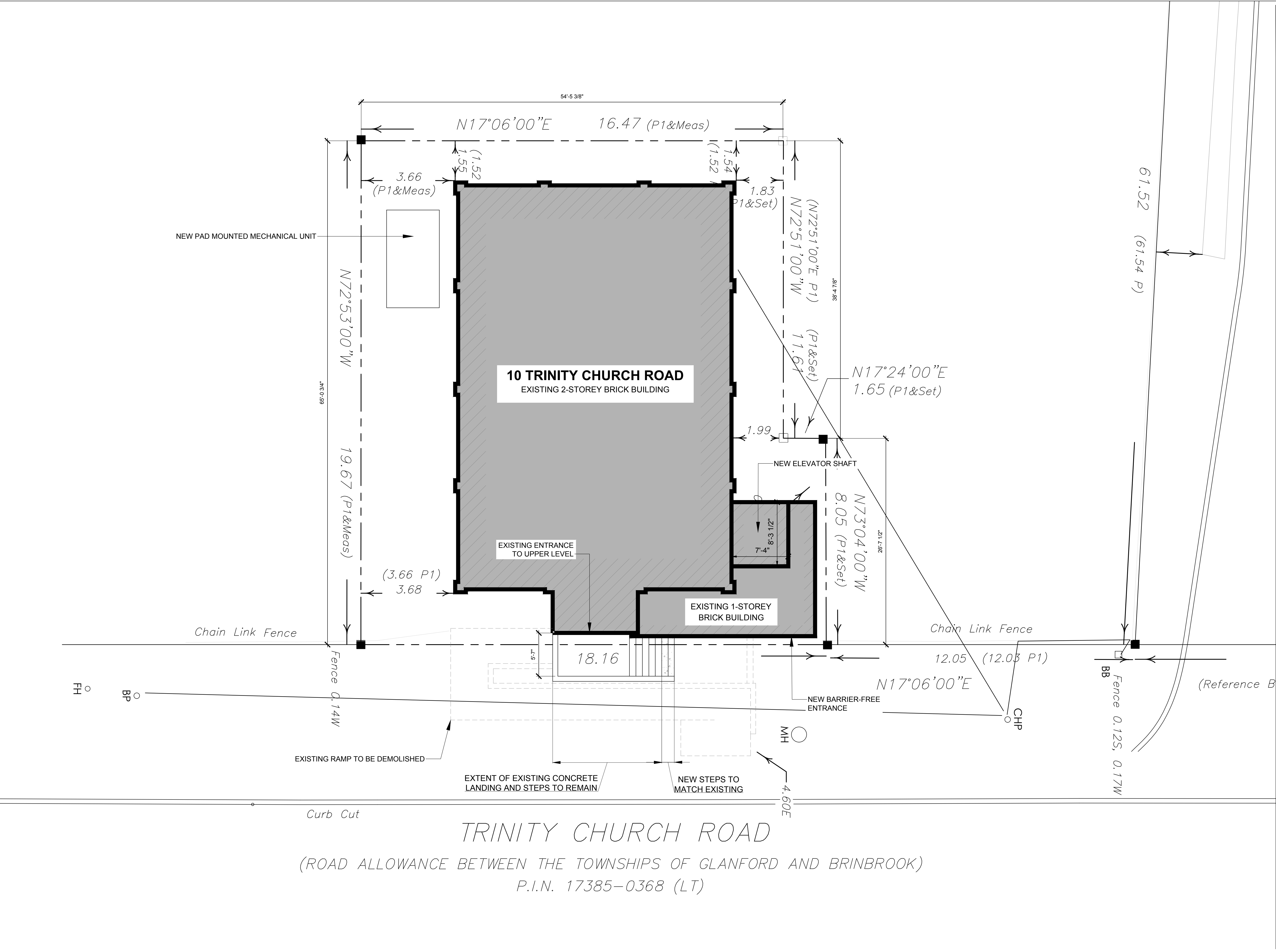
**Associated Person(s):****Associated Group(s):****Associated Event(s):****Associated Theme(s):****Reference Material:**

Glanford Recollections and Reflections, Glanford Historical Society, 1985.









Trinity Church  
Restaurant

10 Trinity Church Road  
Hamilton, ON, Canada L8W 3S2

dpai

architecture  
interiors  
urban design

905-522-0220

info@dpai.ca

25 main st w, suite 1800  
hamilton, ON L8P 1H1

Drawings are not to be scaled.

Contractor must verify all dimensions on the job and report any discrepancy to architects before proceeding with the work.

All drawings and specifications are the property of the architect and must be returned at the completion of the work.

This drawing is not to be used for construction until countersigned. Date:

No.:

Issue / Revision

Date

Drawing Title:

SITE PLAN

Issue Date: 2022-09-01

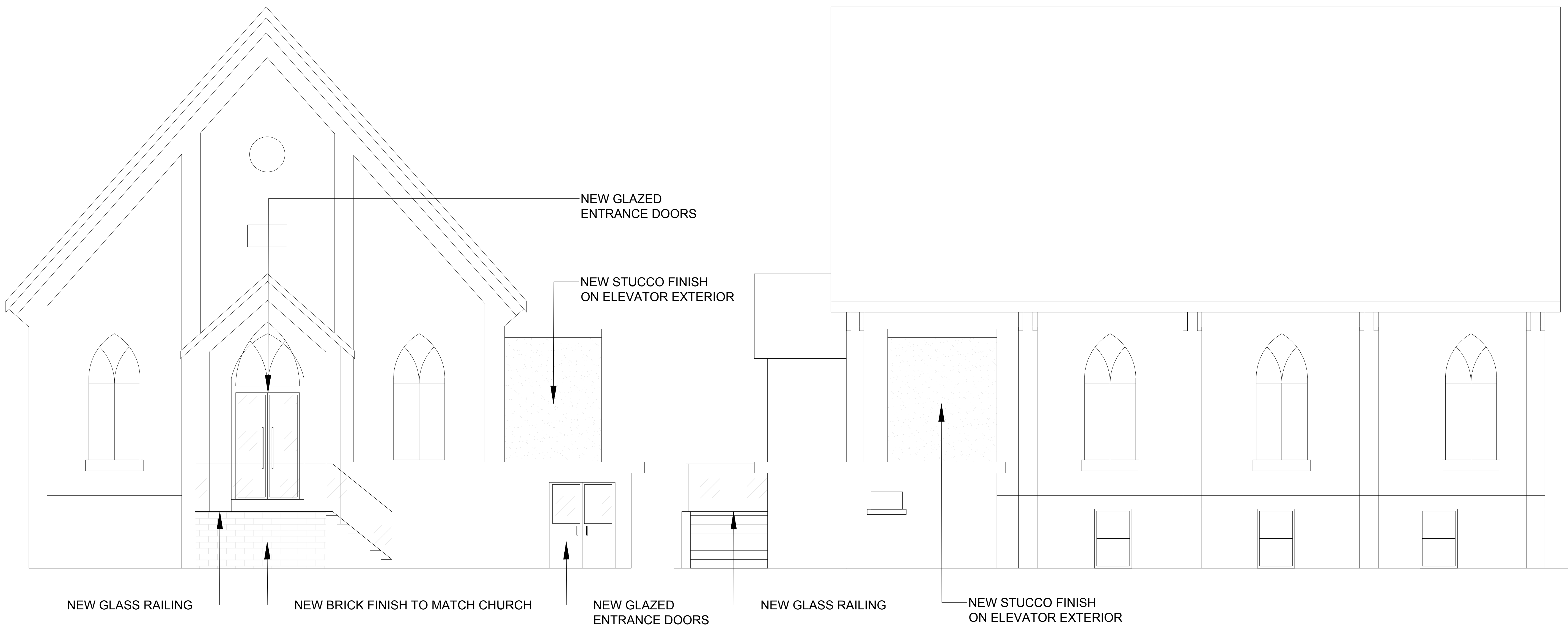
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Project No.: 12125

Checked By: dp

Drawing Scale: 3/16" = 1'0"

A02.00



EAST ELEVATION

NORTH ELEVATION

Trinity Church  
Restaurant

10 Trinity Church Road  
Hamilton, ON, Canada L8W 3S2



905-522-0220  
info@dpai.ca  
25 main st w, suite 1800  
hamilton, ON L8P 1H1

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No. Issue / Revision Date

Drawing Title:

EXTERIOR  
ELEVATIONS

Issue Date: 2022-09-01

Drawn By: AF

Checked By: DP

Project No.: 12125

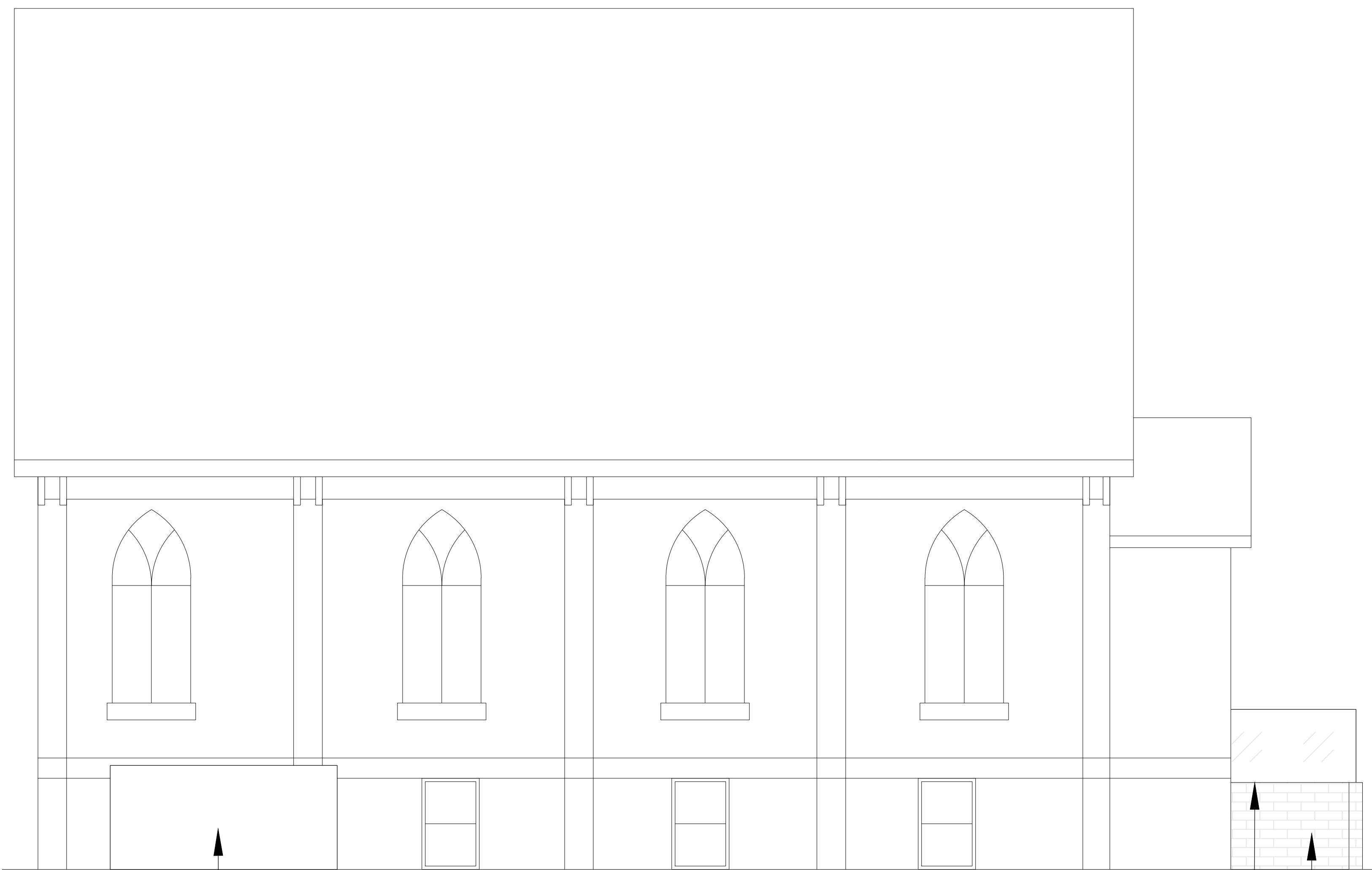
Drawing Scale: 1/4" = 1'0"

Drawing No.:

A04.00



WEST ELEVATION



SOUTH ELEVATION

Trinity Church  
Restaurant

10 Trinity Church Road  
Hamilton, ON, Canada L8W 3S2



905-522-0220  
info@dpai.ca  
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hamilton, ON L8P 1H1

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No. Issue / Revision Date

Drawing Title:

EXTERIOR  
ELEVATIONS

Issue Date: 2022-09-01

Drawn By.: AF

Checked By: DP

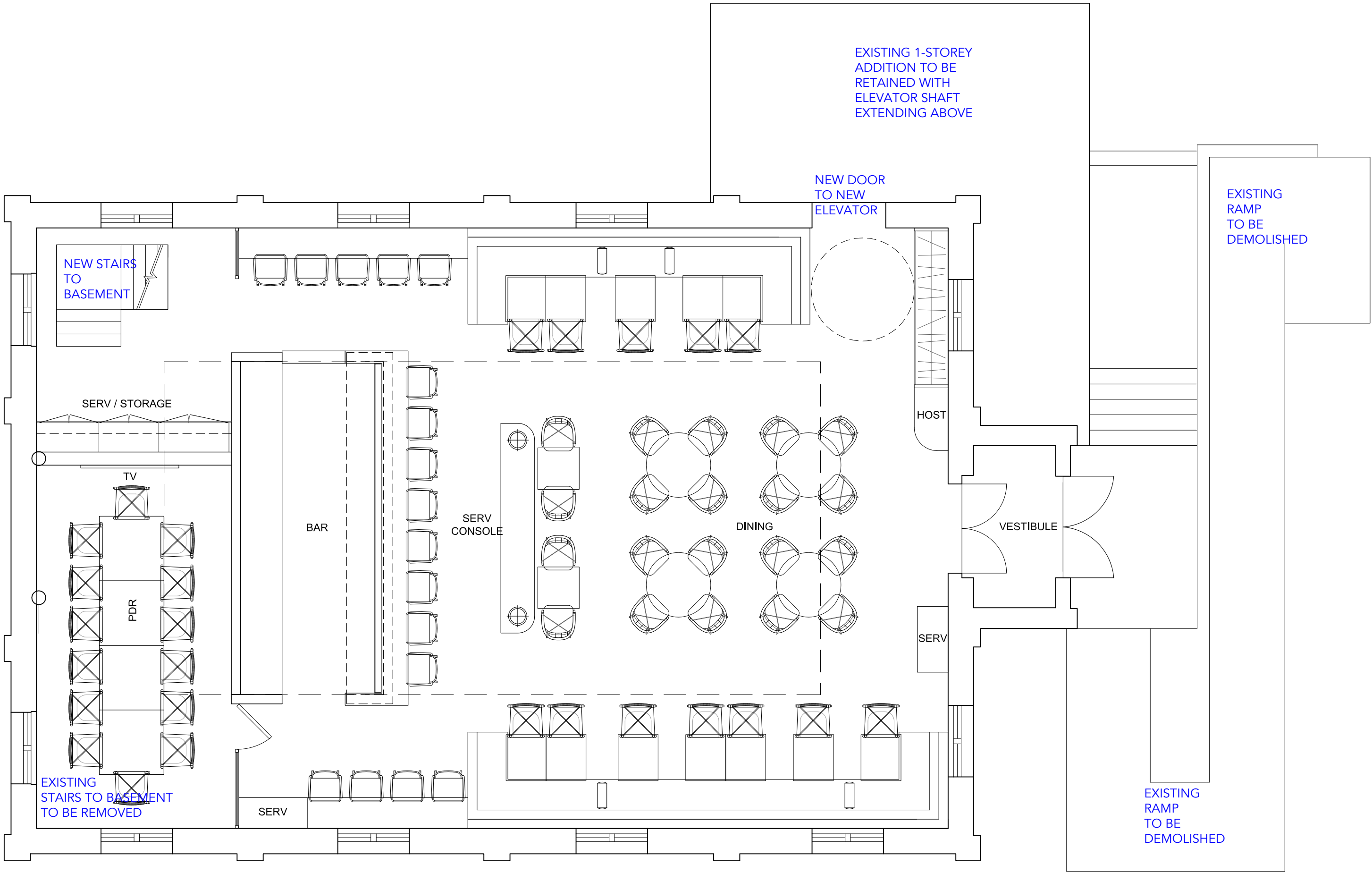
Project No.: 12125

Drawing Scale: 1/4" = 1'0"

Drawing No.:

A04.01





EXISTING 1-STOREY  
ADDITION TO BE  
RETAINED WITH  
ELEVATOR SHAFT  
EXTENDING ABOVE

NEW DOOR  
TO NEW  
ELEVATOR

EXISTING  
RAMP  
TO BE  
DEMOLISHED

NEW STAIRS  
TO  
BASEMENT

SERV / STORAGE

TV

PDR

BAR

SERV  
CONSOLE

DINING

HOST

VESTIBULE

SERV

SERV

EXISTING  
RAMP  
TO BE  
DEMOLISHED

EXISTING  
STAIRS TO BASEMENT  
TO BE REMOVED

